

ADDISON TOWNSHIP

APPLICATION FOR PRIVATE ROAD OR ACCESSWAY

RETURN this Application with required data. **RETAIN** information for your records.

FILING FEES: Payable to Addison Township **Application Fee: \$300.00**
Application **\$2,000.00**
Attorney fees are not included.

1. FOLLOWING INFORMATION MUST BE COMPLETED & SUBMITTED

PRELIMINARY DATE: _____ FINAL APPLICATION DATE: _____

DATE: _____ FEE PAID: _____ RECEIPT NO. _____

PARCEL IDENTIFICATION NO. _____ CURRENT ZONING _____

NAME OF PROPERTY OWNER _____ TELEPHONE _____

MAILING ADDRESS _____

REASON FOR SPLIT _____

COPY OF DEED

2. **AUTHORIZATION:** I, hereby state, that I/We hold title or contract to the above mentioned property and that I/We have read the ordinance regulating Land Division and Private Roads.

SIGNATURE: _____

AGENT SIGNATURE: _____

Submit (4) engineered plans folded & inserted into envelopes for mailing.

Submit (8) engineered plans folded for Township Board.

Submit (20) engineered plans for Site Condominium Developments: 3 engineer, 1 Planner, Planning Commission and Township Board folded and inserted into envelopes for mailing.

The Approval of Private Road or Access way given by Township Board on _____

The Final Approval given by Board _____

Applications include: 1. Zoning 300, Section 4.19 Private Roads/Accessway

2. Private Road Standards

3. Fee Schedule

private road or accessway

TOWNSHIP OF ADDISON
1440 ROCHESTER ROAD
LEONARD, MI 48367

Return this page with
required data: make
copies of all permits

PRIVATE ROAD PERMIT NUMBER _____
Ordinance NO. 300: Article 4: Section 4.19:

OWNER/ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

PHONE: _____ LICENSE NO: _____

LOCATION OF ROAD/NAME/PARCEL IDENTIFICATION: _____

DOCUMENTS SUBMITTED TO CLERK'S OFFICE PRIOR TO CONSTRUCTION: _____

Soil Erosion Permit No: _____
Approach Permit from Oakland County Road Commission if applicable: _____

Signed Road/Utility Easement and Road Maintenance Agreement, in a recordable
form, signed by all parties of interest & recorded at County Liber # _____

Other: _____

CONSTRUCTION PLANS APPROVED BY THE TOWNSHIP ENGINEERS: _____

Clerk, Pauline Bennett is directed on _____
to authorize construction of Private Road Permit. Date: _____

Approval/Release of permits and final inspection by engineer must be submitted prior to
receiving final approval from the Addison Township Board of Trustees.

SIGNED: _____
Pauline Bennett, Clerk

Final Approval of Private Road was given by
The Board of Trustees at a Meeting held on:

additional parcels shall be considered nonconforming parcel (created after amendment of this ordinance) but not building sites. The parent parcel may transfer the original building site to any of the newly created parcels in accordance with Section 5.04 of this ordinance.

- d. The size, shape and orientation of the lots shall be appropriate for the type of development and land use contemplated. No split shall be approved which would conflict with existing drainage ditches, natural watercourses, easements or public right-of-way.
- e. No lot splits shall be granted which are contrary to, or in violation of, the State of Michigan Public Act No. 288 of 1967 (MCL 560.101 et seq.), as amended, the Land Division Act.
- f. No lot split shall be approved if the division would reduce any required yard space or off-street parking space below the minimums required by the zoning ordinance or if the division would effectively allow the avoidance of the requirements of this ordinance.
- g. No lot splits shall be approved which would preclude the feasible and efficient development, division or access for remaining or abutting lands affected by the proposed split.
- h. The proposed land division shall be reviewed for compliance with the adopted master plan of the township.

5. Review and approval of lot splits. Following receipt of a land division application, the township clerk shall forward to the planner and upon review refer said application to the office of the supervisor, clerk, treasurer, and assessors, for review and approval. Accompanying submission shall be the following:

- a. A memo from the township clerk stating whether or not the parcel or parcels to be divided contain any improvements.
- b. If any improvements are contained thereon, a memo from the building inspector stating whether the proposed division would reduce required yard space or off-street parking space below minimum limits required in the zoning ordinance or would otherwise preclude the application of the provision of this ordinance.
- c. The township board is hereby authorized to establish a policy wherein a reasonable time limit shall be permitted for the duration of the administrative approval of a division of a lot or parcel which may include the submission of necessary information and documentation, or for the completion of necessary improvements pursuant to the construction of private roads and related improvements, or other township required improvements.

Section 4.19. Private roads.

Private road development that occurs in the township shall be subject to the minimum private road regulations and standards of this section (Section 4.19). No person, firm or

corporation shall hereafter divide or develop any land as hereinafter described without providing for public or permanent private easements for access to such divided lands with said private easements to conform to these minimum requirements.

A. *Definitions.*

1. *Existing easement access.* An easement that is recorded with the Oakland County Register of Deeds, prior to the effective date of this provision of the zoning ordinance, that has not received approval from the township board (as determined by the township board) as part of a land division, private road application, subdivision or site condominium.
2. *Approved existing private road.* A recorded easement that has been approved by the township board as a result of a subdivision, site condominium or private road application as provided in [this] Section 4.19 and has been constructed and received final township board post-construction approval for the full approved final length.
3. *New private road.* A proposed easement that conforms to the requirements of [this] Section 4.19 and is approved by the township board with any and all conditions of approval met.
4. *Nonconforming access.* Any access (e.g., including driveways, unrecorded easements, unapproved easements, unimproved easements) other than a public road, approved existing private road or new private road that does not meet the definitions contained in Section 4.19.A.1—3 or any standard contained in [this] Section 4.19.

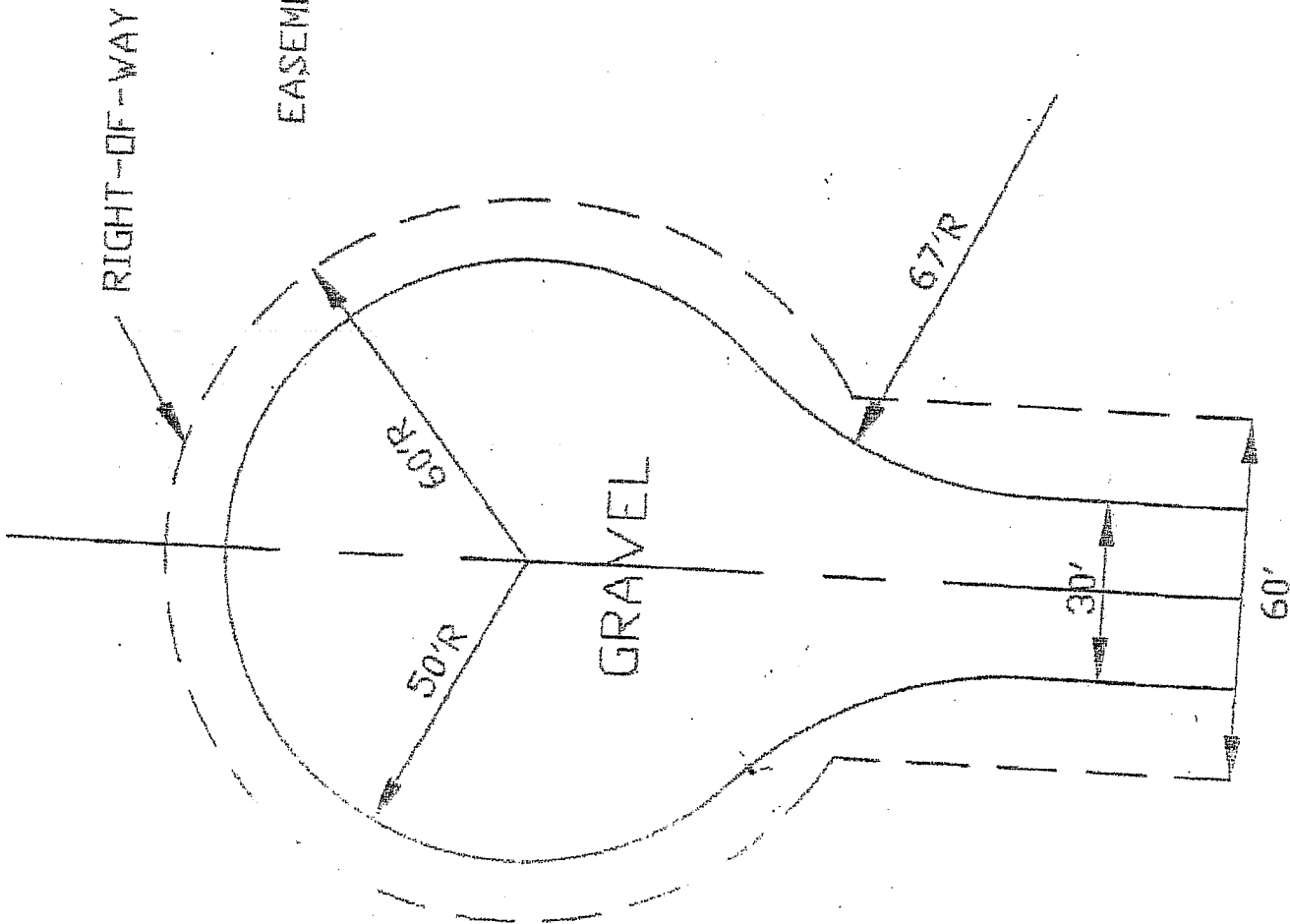
B. *Requirements.*

1. Every dwelling hereafter erected or located in the township shall be on a parcel abutting a public road, a new private road or an approved existing private road (both as defined herein) that complies with all provisions of [this] Section 4.19, and with access to the road to provide safe, convenient yearround access/egress for serving emergency access, pedestrian safety and fire protection.
2. When land parcels are being divided and roads created within the township, the resulting road standards shall meet or exceed the standard "C" type described in the cross section drawing of the Oakland County Road Commission, dated December 14, 1972. Rights-of-way or easements, while not required to be dedicated, will be reserved for future dedication and preclude any development within this designated area. Any land division application or development plans as submitted for approval must show any proposed private road easement including a legal description, and must include the grades for these roads or future extension shall be deemed waived.
3. All private roads (unless an accessway easement as provided in Section 4.19.18) shall have a minimum right-of-way easement of at least sixty (60) feet or the current Road Commission for Oakland County's designated right-of-way width

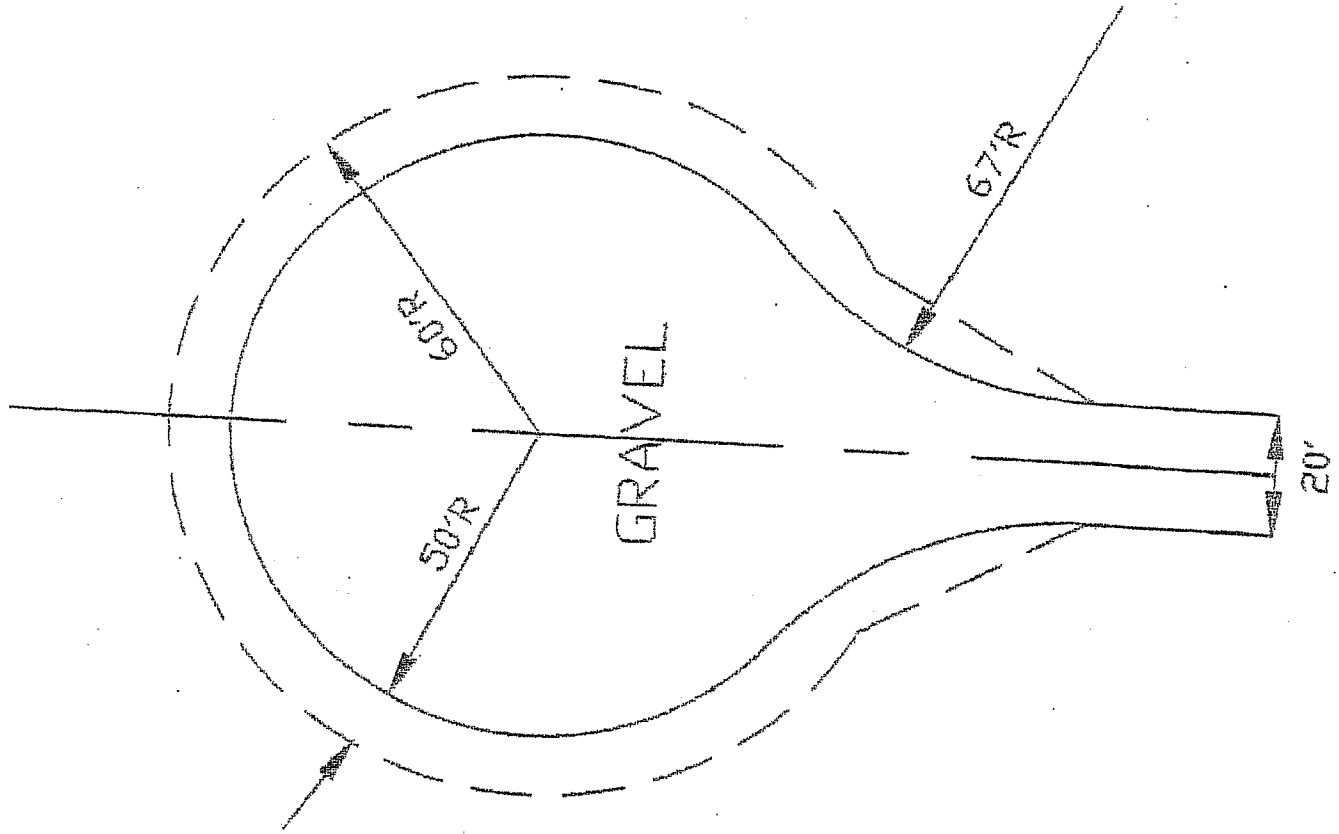
- 5) Easements to the public for purposes of emergency and other public vehicles for whatever public services are necessary for access.
 - 6) A provision that the owners of any and all of the property using the road shall refrain from prohibiting, restricting, limiting or in any manner interfering with normal ingress and egress and use by any of the other owners except by mutual agreement of all involved in the use of the road. Normal ingress and egress and use shall include use by family, guests, invitees, vendors, tradesmen, delivery persons, and others bound to or returning from any of the properties having a need for use of the road.
 - 7) A limitation on the maximum number of parcels/building sites to be served by the easement.
6. The township engineer shall review the plans of the new private road and forward a recommendation of approval, approval with conditions, or denial (with reasons) to the township board. When new private road plans are approved by the township board, a construction permit will be issued by the township clerk and/or supervisor. The township engineer will inspect and review the road during construction. Upon completion of construction of the road, a site inspection of the road including proper placement of any stop sign(s) and street identification sign(s) will be made by township engineer who shall forward his recommendation to the township board who shall be responsible for considering final approval. If final approval contains conditions, the approval shall not be considered final until all conditions have been met to the full satisfaction of the township board.
 7. All private roads shall be designated as such and shall be appropriately signed by the property owner. The township clerk shall check with the county to avoid a duplication of names and give approval of [the] same.
 8. An application fee is to be established by the township board. Before final approval of the cost of review of plans and inspection by the township engineer of the private road and drainage shall be paid for the by the applicant/developer.
 9. Extensions of private roads.
 - a. Approved existing private road. Approved existing private roads shall be allowed to be extended in the same manner as the original approved existing private road. Any approved existing private road may apply at any time for township extension approval. Extensions shall be limited to existing parcels that are contiguous to the approved existing private road easement as the original road easement exists according to the existing approved easement prior to the application. Existing parties to any existing road maintenance agreement must agree to any proposed extension by providing a preapproved (by township) road maintenance agreement for the extension in addition to the original length of the private road. (All extensions [which shall be considered a part of the existing road for purposes of maximum

private road). Private road segments (non-cul-de-sac segments) in land divisions, subdivisions and site condominiums may not exceed one thousand six hundred (1,600) feet unless a variance is granted for the minimum variance necessary if multiple access/egress points to the segment and subdivision/site condominium are provided to the development for each and every phase of the development. Private road standards shall be used in any underlying plan (conventional or parallel plan) as provided in Section 25.03.

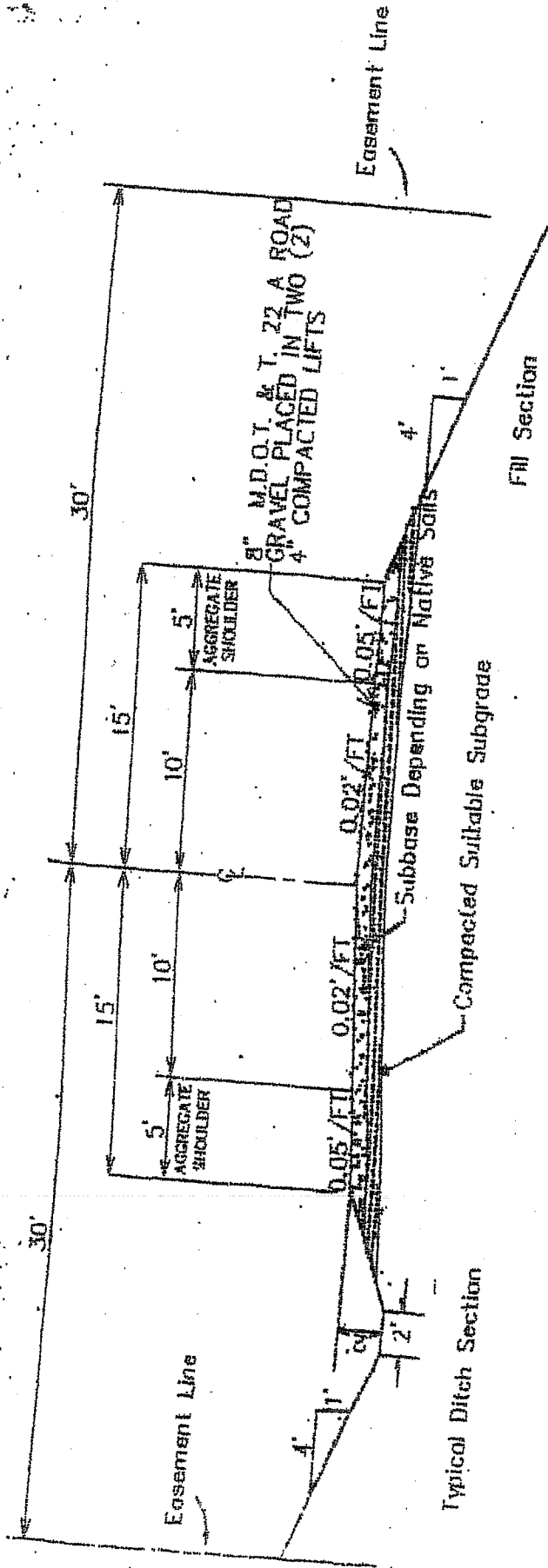
14. The width of a proposed private road shall not be considered a part of the minimum lot width requirements of this zoning ordinance.
15. The intersection of a private road with a public road and the intersection of private road segments with other private road segments (intersection to intersection) shall be at right angles or as nearly as possible to right angles as conditions permit. Intersections with offsets of less than one hundred twenty-five (125) feet should be avoided where possible. A private road intersection with a public road shall be at least one hundred twenty-five (125) feet from any portion of another private road. Private road and accessway easements should be offset from adjacent property lines at least sixty (60) feet to allow for parallel private roads and minimization of turning conflicts.
16. Cul-de-sac road length shall not exceed eight hundred (800) feet unless no more than four (4) existing or proposed parcels or future divisions or building sites are created from the parent parcel or served by the cul-de-sac road. Parcels with potential access to both a public and proposed private road shall be considered to have access to the proposed private road unless a parcel contains a home and preexisting driveway. For purposes of this provision, the proposed number of divisions shall apply to the parent parcel from which the divisions are proposed and over which a private road (including accessway is proposed). A limitation on future divisions for building site purposes shall be imposed by the township board as part of private road approval, which limitation shall be so recorded in parcel deeds following review and approval of the proposed deed restrictions by township legal counsel.
17. Private road configurations that serve more than twenty-five (25) lots, parcels, or condominium units shall provide an alternate access (private road access) for purposes of public safety. A boulevard entrance shall not qualify as the alternate access. The alternate access shall be provided as far as possible from the origin of the private road (intersection with public road) and shall provide maximum alternate access to as many lots, parcels or condominium units as practicable.
18. Parcels which front on a public (not private) road may meet the frontage requirements of Section 4.17 for up to four (4) building sites or parcels through the calculation of frontage on an easement (accessway) which meets the following requirements:
 - a. Each easement shall be recorded with the county register of deeds with a maintenance agreement, the form and content of both (easement and



PRIVATE ROAD
 CUL-DE-SAC



ACCESSWAY
 CUL-DE-SAC



(TYPICAL) CROSS-SECTION FOR PRIVATE ROAD

(Not to Scale)

ROAD GRAVEL & SUBGRADE SHALL BE COMPACTED TO 95% OF ITS MAXIMUM DENSITY AS DETERMINED BY A MODIFIED PROCTOR TEST.

Type of Native Soils	Aggregate Surfacing
Sand	8"
Clay	8" w/ 6" Subbase
Silt	8" w/ 9" Subbase

Subbase Material - M.D.O.T. Granular Material Class 1



ADDISON TOWNSHIP
APPROVED

11/21/05
Pauline Bennett

RECEIVED

NOV 15 2005

ADDISON TWP.

To: Addison Township
1440 Rochester Road
Leonard MI 48367-3555
Attn: Pauline Bennett, Township Clerk

Re: Private Road Engineering Standards

Dear Ms. Bennett,

In response to your faxed memo received on November 9, 2005, we have the following comments:

We previously suggested and, as a result have recommended in our review letters for recently proposed developments, that proposed road installations be of 12" thick MDOT 21AA aggregate in lieu of the 8" thickness as depicted in the cross section details of the private road application package. This recommendation was made after an examination of several existing private roads which appeared to be impassable by a heavy emergency vehicle.

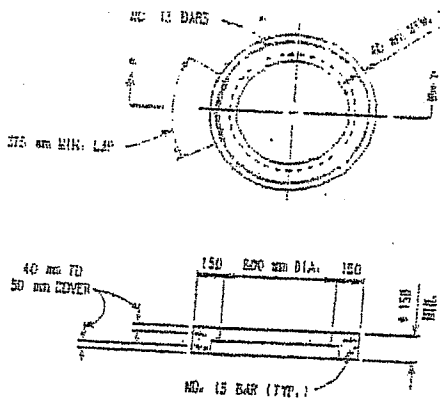
A possible variation to this requirement could be if the developer/petitioner demonstrate through soil borings and other bearing capacity data that equipment currently being used by the Township's Fire Department could be supported by the alternate road section being proposed.

In our opinion, health, safety and welfare may be compromised if emergency vehicles do not have adequate access to any individual dwelling.

Also, unless emergency vehicles will not be required to traverse accessways, we see no rationale in the reduction of standards from those stated for private roads. We therefore recommend that all private roads and accessways be constructed with a more substantial cross-section, adequate to support emergency vehicles.

Respectfully Submitted,

Dennis J. Chegash
Dennis J. Chegash, P.E.
Vice President
Landtech, Inc.



SECTION A - A
 * WHEN RISER TONGUE LENGTH IS GREATER THAN 75 mm, USE 7 TIMES THE TONGUE LENGTH.
 NOTE: PRECAST RISER SHALL FULLY ENGAGE THE TONGUE OF THE RISER PIPE.
PRECAST RISER RING
 (FOR 600 mm DIAMETER STRUCTURE)

NOTES:

THE DRAINAGE STRUCTURE COVERS ALLOWED FOR USE ON THESE DRAINAGE STRUCTURES ARE SPECIFIED IN SUBSEQUENT STANDARD PLANS AND ARE INTERCHANGEABLE ON ANY STRUCTURE.

THE TOPS OF MASONRY STRUCTURES SHALL BE SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE USING MORTAR OR BRICK AS DIRECTED BY THE ENGINEER.

THE TOP PORTION OF 1200 mm DIAMETER AND LARGER PRECAST REINFORCED UNITS SHALL BE ECCENTRIC IN DESIGN.

PREMIUM JOINTS ARE REQUIRED ON ALL SANITARY MANHOLES. SEE A.S.T.M. DESIGNATION C-423M.

GRAVEL OR MATERIAL CLASS III SHALL BE USED IN BACKFILLING AROUND ALL STRUCTURES THAT FALL WITHIN THE 1:1 INFLUENCE LINES FROM THE EDGE OF PAVEMENT OR BACK OF CURB.

A STRIP OF SOD 1.0 m WIDE SHALL BE PLACED AROUND THE TOP OF EACH STRUCTURE LYING OUTSIDE THE SURFACED PORTIONS OF THE HIGHWAY.

STEPS FOR DRAINAGE STRUCTURES SHALL BE OF AN APPROVED DESIGN AND MADE FROM CAST IRON, ALUMINUM, OR PLASTIC COATED STEEL. RUNGS SHALL BE A MINIMUM OF 250 mm IN CLEAR LENGTH, DESIGNED TO PREVENT THE FOOT FROM SLIPPING OFF THE END. THE MINIMUM HORIZONTAL LOAD SHALL BE 1800 N. THE MINIMUM VERTICAL LOAD SHALL BE 3600 N.

THE BELL SHALL BE REMOVED FOR THE FIRST LENGTH OF OUTLET PIPE PROJECTING THROUGH THE WALL OF THE MANHOLE.

PRECAST CONCRETE SECTIONS, SOFFITS AND FLAT TOP SLABS SHALL BE BUILT ACCORDING TO A.S.T.M. C-475M AND ACCORDING TO DETAILS SPECIFIED ON THIS PLAN. PRECAST REINFORCED CONCRETE FLAT TOP SLAB SHALL BE MARKED TO SHOW LOCATION OF REINFORCEMENT. THE WALLS OF THE PRECAST UNITS MAY HAVE A SLIGHT TAPER TO ALLOW FOR FORM REMOVAL. PRECAST CONCRETE 600 mm DIAMETER DRAINAGE STRUCTURES SHALL HAVE A MINIMUM 80 mm WALL THICKNESS WITH A 150 mm MINIMUM BEARING SURFACE ON TOP. SEE PRECAST RISER RING FOR 600 mm DIAMETER STRUCTURE.

PIPES ENTERING OR LEAVING PRECAST STRUCTURES SHALL NOT HAVE AN INSIDE DIAMETER GREATER THAN 600 mm LESS THAN THE INSIDE DIAMETER OF THE STRUCTURE. EXCEPT THAT PIPES ENTERING OR LEAVING 600 mm INSIDE DIAMETER STRUCTURES MAY HAVE PIPES WITH A 300 mm INSIDE DIAMETER OR LESS.

THE NUMBER OF PIPE OPENINGS IN A RISER SHALL BE DETERMINED BY THE DESIGNER. SPACING BETWEEN OPENINGS SHALL BE 150 mm MINIMUM. OPENINGS MAY BE CONSTRUCTED BY CASTING, REMOVING THE GREEN CONCRETE, OR BY DRILLING THE OPENINGS IN CURED CONCRETE.

WHEN A SEWER TRAP IS CALLED FOR ON THE PLANS, IT SHALL BE PLACED IN THE OUTLET SEWER LINE OF CATCH BASINS AND CONSTRUCTED ACCORDING TO STANDARD PLAN R-15-SERIES. SEWER TRAPS SHALL BE PAID FOR SEPARATELY AT THE CONTRACT UNIT PRICE, EACH.

PRECAST CONCRETE FOOTINGS OR BASES SHALL BE REINFORCED WITH NO. 15 BARS SPACED AT 200 mm BOTH WAYS OR WITH TWO LAYERS OF WELDED WIRE FABRIC OF EQUIVALENT CROSS SECTIONAL AREA LAID AT RIGHT ANGLES AND WIRED TOGETHER. REINFORCEMENT SHALL BE PLACED IN TOP OF FOOTING AND SHALL BE MARKED. STEEL REINFORCEMENT MAY BE OMITTED IN CAST-IN-PLACE CONCRETE FOOTINGS.

PRECAST CONCRETE FOOTINGS SHALL BE SUPPORTED BY A COMPACTED 150 mm DRAINAGE SUBBASE.

THE MINIMUM WALL THICKNESS FOR ALL 600 mm, 1200 mm, 1500 mm AND 1800 mm DRAINAGE STRUCTURES USING CONCRETE BLOCK, BRICK, OR CAST-IN-PLACE CONCRETE SHALL BE AS SPECIFIED IN TYPICAL WALL SECTIONS.

THE CONICAL SECTION OF MANHOLES OR CATCH BASINS CONSTRUCTED OF BLOCK OR BRICK SHALL BE SHROUDED WITH GEOTEXTILE FABRIC TO A MINIMUM DEPTH OF 1500 mm OR THROUGH THE FROST ZONE. ENOUGH GEOTEXTILE MATERIAL SHALL BE LEFT ON THE TOP 1200 mm OR MORE TO ROLL OVER THE TOP OF THE CURB.

PREFORMED HIGH DENSITY POLYSTYRENE FILLER PIECES MAY BE USED TO CHANNEL FLOW IN THE BOTTOM OF MANHOLES PROVIDED THEY HAVE AT LEAST 50 mm OF CONCRETE COVER. THE USE OF THIS MATERIAL FOR CHANNEL FLOW IS RESTRICTED TO MANHOLES WHERE THE BOTTOM SECTION IS NOT SUBJECT TO FREEZING. THE USE OF THIS MATERIAL MUST BE APPROVED BY THE ENGINEER.

ALL DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED.

MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY TECHNICAL SERVICES STANDARD PLAN FOR

DRAINAGE STRUCTURES

7-10-96	4-26-96	R-1-E	SHEET 5 OF 5
C.H. B.L. APPROVAL	PLAN DATE		

THE CONICAL SECTION OF THE MANHOLE OR CATCH BASIN CONSTRUCTED OF BRICK OR PRECAST SHALL BE SHROUDED WITH GEOTEXTILE FABRIC TO A MINIMUM DEPTH OF 4 FEET. ENOUGH GEOTEXTILE MATERIAL SHALL BE LEFT OVER ON THE TOP TO ROLL OVER THE TOP OF THE CONE SECTION.

EXISTING COVER AND/OR AS CALLED FOR ON THE PLANS

6" x 6" CONCRETE COLLAR PLACED 360° AROUND THE STORM STRUCTURE AND CASTING AT THE TIME OF CONCRETE CURB AND GUTTER AT THE CONCRETE COLLAR SHALL BE CENTERED ON POINT AT WHICH CASTING MEETS STORM STRUCTURE.

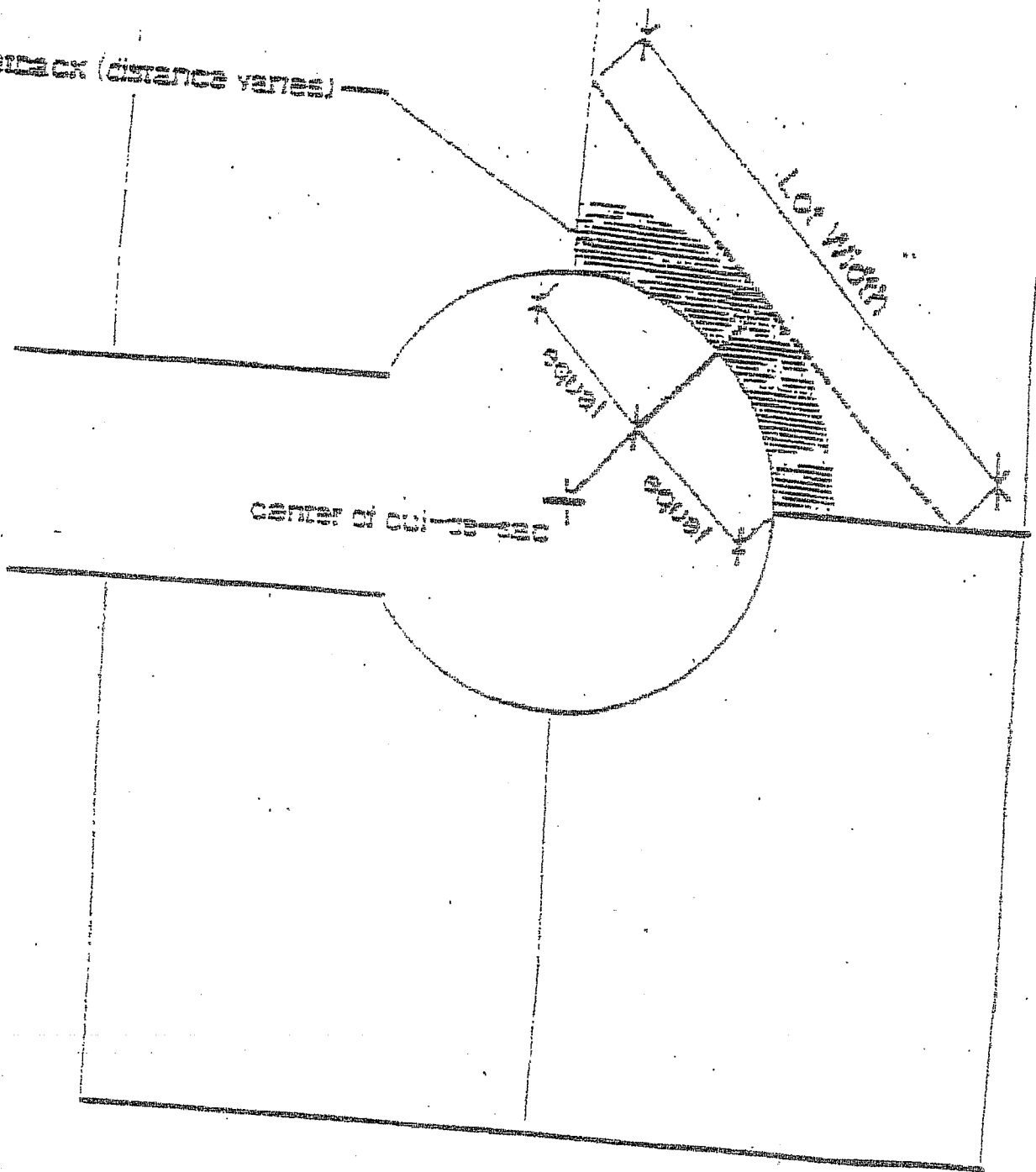
BRICK OR CONCRETE BLOCK WALL SECTION

CEMENT COAT

CLEAN VOIDS OF DEBRIS PRIOR TO USING CEMENT AS GROUTING TO FILL VOIDS BETWEEN CASTING AND BRICK OR CONCRETE STRUCTURE. SURFACE TO BE LEFT SMOOTH AND VOID FREE.

SEALING DRAINAGE STRUCTURE DETAIL

Setback (distance varies)



Measurement of Lot Width on a Cul-De-Sac

UNIVERSITY OF CALIFORNIA
SCHOOL OF CIVIL AND ENVIRONMENTAL ENGINEERING
101 SHREVE DRIVE, BERKELEY, CALIF. 94720-1787
TEL: (415) 875-5100 FAX: (415) 875-5101
WWW.CEE.BERKELEY.EDU

PAVEMENT THICKNESS

SINGLE FAMILY RESIDENTIAL SUBDIVISIONS

PAVEMENT VERSUS SUBGRADE CONDITIONS	GRANULAR SOILS		COHESIVE SOILS	
	ASPHALT	CONCRETE	ASPHALT	CONCRETE
CURBED PAVEMENT ON EXISTING SUBGRADE	7" 3" ON 8" OF 22A	6"	9"	8"
OPEN DITCH PAVEMENT ON EXISTING SUBGRADE	7" 3" ON 8" OF 22A	6"	9" 3" ON 8"-22A WITH 6"- CL III	8"

INDUSTRIAL AND COMMERCIAL DEVELOPMENTS COLLECTOR STREETS

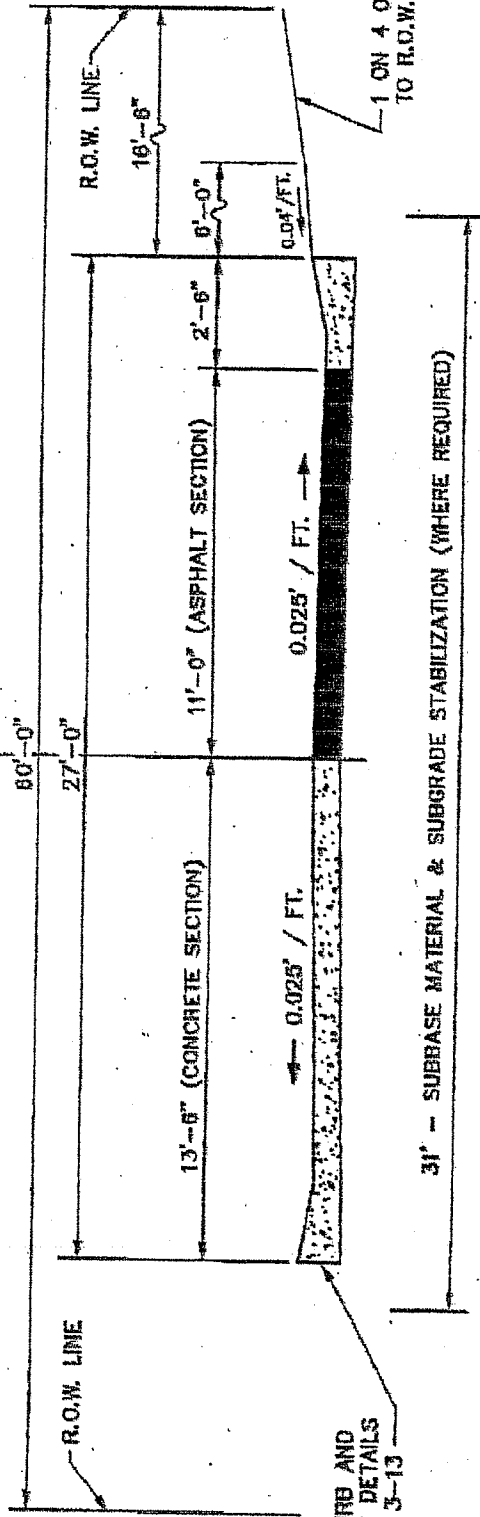
PAVEMENT VERSUS SUBGRADE CONDITIONS	GRANULAR SOILS		COHESIVE SOILS	
	ASPHALT	CONCRETE	ASPHALT	CONCRETE
PAVEMENT ON EXISTING SUBGRADE	8"	7"	10"	9"

Alternate designs that provide equal structural stability and longevity will be considered if adequate engineering data is furnished; however, at no time will the thickness of concrete pavement be less than 6" or full depth asphalt pavement be less than 5".

Regardless of design, Edge Drain will be required as needed.

FIGURE 3-10

CENTERLINE OF PAVEMENT & R.O.W.



SEE CURB AND GUTTER DETAILS FIGURE 3-13

31' - SUBBASE MATERIAL & SUBGRADE STABILIZATION (WHERE REQUIRED)

- 1 ON 4 OR FLATTER TO R.O.W. LINE (TYP.)

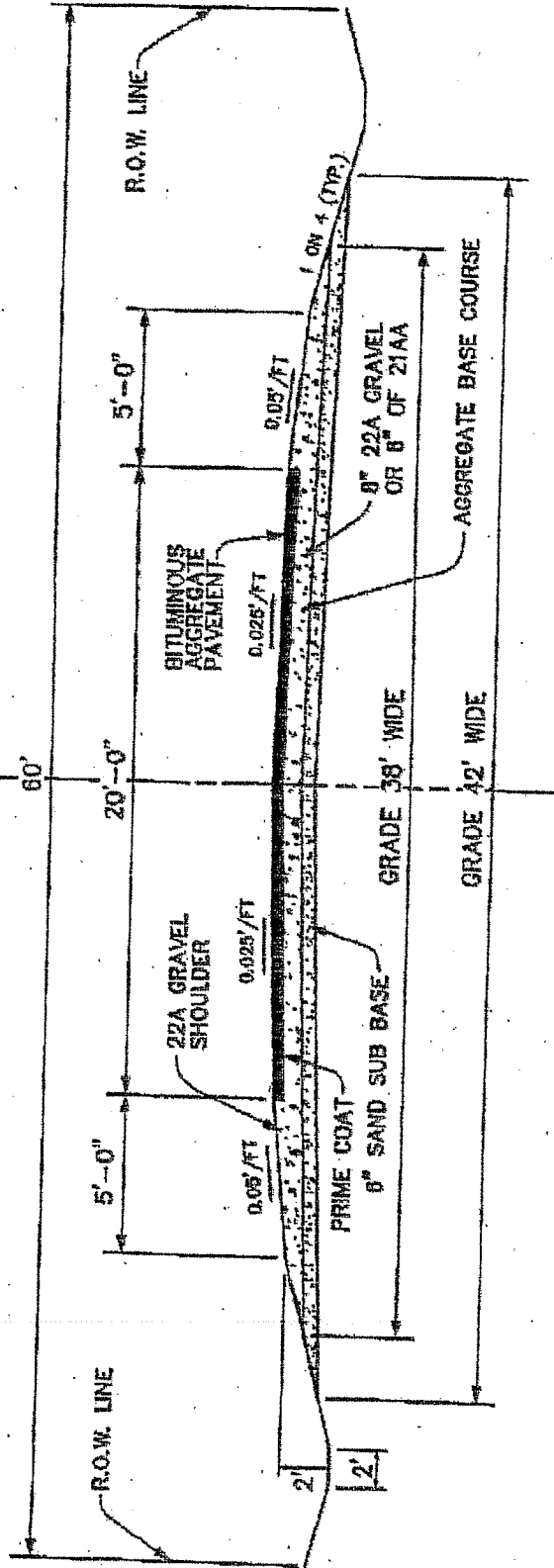
ROAD COMMISSION FOR OAKLAND COUNTY
SUBDIVISION STANDARD PLAN
FOR
TYPICAL CROSS SECTION
RESIDENTIAL ROAD

DRAWN BY: CZ

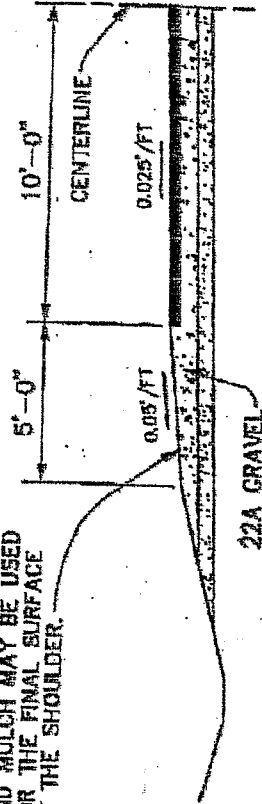
DATE: 12/86

FIGURE 3-13

PAVEMENT & R.O.W. CENTERLINE



1 1/2" TOPSOIL WITH SEED AND MULCH MAY BE USED FOR THE FINAL SURFACE OF THE SHOULDER.



OPTIONAL VEGETATED SHOULDERS

ROAD COMMISSION FOR OAKLAND COUNTY
 SUBDIVISION STANDARD PLAN
 FOR
 TYPICAL RESIDENTIAL ROAD
 CROSS SECTION FOR
 OPEN DITCH CONSTRUCTION

DATE: 1-1-92
 DRAWN BY: CJ

FIGURE 3-5

**Draft Amended
Resolution 05-11**

**RESOLUTION
Land Development Fee Schedule**

Whereas at a special meeting of the Addison Township Board held on March 23, 2005, at the Addison Township complex, 1440 Rochester RD. Leonard. The Board reviewed the budget and

Whereas: to offset and attempt to recapture the development and planning fees incurred, adopted the fee schedule as follows:

Application Fees (Unless otherwise noted)	\$300.00
Land Divisions	\$800.00 and \$100 per new parcel ID number
Property Line Adjustment/Combination (No Divisions Created or review)	\$200.00
Private Road/Accessway	\$2,000.00
Rezoning: Multiple parcels, an additional	\$2000.00 per parcel and \$50.00 per acre \$1500.00 per parcel and \$50.00 per acre
Site Plans: Residential Site Plans such as: Commercial, industrial, public, office Site condos, cluster, P.U.D. Open Space, or as applicable	\$1,000.00 \$5,000.00 and \$ 40.00 per building site
Special Use: Residential personal use Special Use such as: Commercial, industrial, public, office site Site condo, cluster, PUD, open space or as applicable.	\$1,000.00 \$2,000.00 and \$40.00 per building

The following items will be charged a 150.00 application fee:

Engineer fees: Residential personal use under 10 acres	\$1,000.00 and \$25.00 per acre.
Engineer Fees: 10 acres or above	\$2,000.00 and \$25.00 per acre
Commercial, business, industrial, public or office	\$3,000.00 and \$25.00 per acre
Site plan, special use, rezoning, Site condo, PUD, Cluster	

Zoning Board of Appeals such as
Personal residential use \$500.00

Zoning Board of Appeals such as
Commercial, Industrial, Public, Office \$1,000.00
Site Condo, PUD, **Open Space** and Land Divisions

Zoning Compliant Permits (application fee included) \$125.00

Special Meetings: Township Board, Planning Commission,
or Zoning Board of Appeal and legal or professional fees incurred. \$1,000.00
(application fee included)

Appointments scheduled with the Planner \$100.00

Scheduled same day as Planning Commission meeting, application fee included.

Re-reviews by the Township Planner One half of the applicable fee.
Applications that qualify for a re-review must be submitted within six months of denial
date. If information is not received within six months the application shall be invoiced
and considered a new application.

Any and all professional fees not covered by ordinance or resolution for land
development paid by the Township will be billed to applicant, including but not limited
to environmental studies, wetland determinations, planner, engineer and/or legal fees.
All fees shall be paid prior to final approval of the application. **Unpaid fees shall render
an application incomplete.** Invoices received after final approval shall be forwarded to
the building department for assistance in collection.

Addison Township fee schedule is subject to change, all applications received after
adoption shall be invoiced at the approved rate. **These fees shall be effective on April 1,
2005 and shall be posted for 30 days.**

Offered by:

Second By:

Upon a roll call vote:

Aye:

Nay:

Absent:

Resolution passed by the Addison Township Board on March 23 , 2005
Supervisor declared resolution adopted
